

LEGAL NOTICE
WHITPAIN TOWNSHIP ZONING HEARING BOARD

Whitpain Township Zoning Hearing Board will meet for a regular meeting on Thursday, December 15, 2016 at 7:00 PM at the Whitpain Township Building, 960 Wentz Road, Blue Bell, Pennsylvania 19422, to consider the following applications and any other business properly before the Board:

NO. 2096-16: PAOLO AND NATALIE PILEGGI request a variance from Article VII, Section 160-34 relating to side yards for single family detached dwellings, Article XXVIII, Section 160-203 relating to projections into side yards, Article XXVIII, Section 160-202 relating to projections into front yards and a special exception pursuant to Article VII, Section 160-33 relating to front yards on corner lots to allow construction on the property located at 1701 Arlington Rd., Blue Bell, PA, 19422 in the Township's R-2 Residential District of a 16' by 30' family room addition and a 25' by 30' two story garage addition with a second floor master bedroom. Applicants requested variance relief, if granted, will (1) allow the Applicant to construct the said family room addition projecting into the side yard of the Property when the Ordinance prohibits same and (2) will reduce the side yard width to 14 feet when the Ordinance requires at least 25 feet and (3) will allow the Applicant to construct the two story garage addition projecting into the front yard when the Ordinance prohibits same and (4) obtain a special exception to allow the depth of the front yard on the long side of the property to be less than 50' wide.

All applications and plans are on file and may be examined at the Whitpain Township Office during normal business hours. **THE APPLICANT AS WELL AS ALL PERSONS INTERESTED AND/OR WISHING TO BE HEARD IN ANY MATTER MUST BE PRESENT FOR THE HEARING.** Notice is being sent to all property owners in the immediate vicinity of the subject premise. **ANYONE WISHING TO RECEIVE A NOTICE OF THE DECISION MUST APPEAR AND SIGN THE REGISTER AT THE HEARING.** At the completion of the hearing, the Zoning Hearing Board will render a decision, unless it deems additional time is required for consideration and discussion, in which case it will continue the public meeting to an announced date and time for that purpose.

The Whitpain Township Planning Commission will also review these applications on Tuesday, December 13, 2016 at 7:30 PM. Since the comments of the Planning Commission are given to the Board of Supervisors and the Zoning Hearing Board for their consideration, all Applicants are encouraged to attend the Planning Commission meeting to explain the relief they have requested.

Persons with a disability who wish to attend the above-referenced administrative hearing and require an auxiliary aid, service or other accommodation to participate in the hearing, please contact the Township ADA Coordinator at (610)-277-2400.

ZONING HEARING BOARD
OF WHITPAIN TOWNSHIP

Whitpain Township
960 Wentz Road
Blue Bell, PA 19422-0800
buildingandzoning@whitpaintownship.org



APPEAL NO. ZHB# 2096-16

Phone: (610) 277-2400
Fax: (610) 277-2209
Office Hours: Mon - Fri 1-2PM
& by Appointment

*WM 11/4/16
Hezler 11/4/16*

ZONING HEARING BOARD APPLICATION

Zoning District: <u>B-2</u>	Chapter 160
Article: <u>VII</u>	Section: <u>160-34</u>
Article: <u>XXVIII</u>	Section: <u>160-203</u>
Article: <u>VII</u>	Section: <u>160-33</u>
Article: <u>XXVIII</u>	Section: <u>160-202</u>

DO NOT WRITE ABOVE THIS LINE

Applicant Name: Paolo and Natalie Pileggi
 Owner Equitable Owner Tenant Other

Address: 1701 Arlington Road Blue Bell, PA 19422

Phone #: H. 610-275-5285 W. 610-324-3156 Fax No: _____

Pursuant to Chapter 160, Section 160-224 of the Code of the Township of Whitpain, a public hearing is hereby requested to consider the following:

- An appeal from the determination of the Code Enforcement Officer
- A request for a variance
- A request for a special exception
- An appeal from a Zoning Enforcement Notice
- Other - Describe below

Property Address: Same
(IF DIFFERENT FROM ABOVE)

Description of relief requested. Check all that apply:

- | | | |
|--|---|--|
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Use | <input type="checkbox"/> Signage |
| <input type="checkbox"/> Flood Plain | <input type="checkbox"/> Minimum yard setback | <input type="checkbox"/> Expansion of Non-conforming use |

Describe request: To allow a 16' x 30' family room addition and a 25' x 30' garage addition with a master bedroom above.

Attorney: _____
Address: _____
Phone #: _____
Fax #: _____

Paolo D. Pileggi Natalie Pileggi
APPLICANT SIGNATURE
AGENT
1701 Arlington Rd. Blue Bell, PA 19422
ADDRESS

AN ADDITIONAL FEE OF \$250 SHALL BE CHARGED FOR ANY CONTINUANCE REQUESTED BY THE APPLICANT. THIS FEE SHALL BE PAID PRIOR TO THE RESCHEDULING OF THE HEARING.

ZONING HEARING BOARD PLOT PLAN REQUIREMENT - CHECK LIST

Plot Plans (The following information must be on ALL plot plans except as noted below or except as requested by waiver letter.

- Name(s) of owners (name of legal owner, name of equitable owner).
- Name(s) of tenant or other occupant(s).
- Address of property.
- Date of preparation of drawing.
- Name of Preparer.
- Zoning classification of the property.
- North arrow (Compass Direction).
- Scale of not less than 1" = 20'; In the case of large projects, not less than 1" = 40'.
- Entire property including property line and distances.
- *Courses of property lines.
- Existing structures with dimensions of all sides.
- Date of construction of existing structures.
- Proposed structures with dimensions of all sides.
- Distances of existing and proposed structures from property lines.
- Nearest existing structures on adjacent properties, within 100' of property lines. Give use and distances from Applicant's property line.
- Names and addresses of adjacent property owners.
- *Existing contour lines at 2' intervals. (Where slope exceed 10%, then 5' intervals may be used).
- Details of proposed grading and drainage.
- Existing trees over 4" in diameter affected by proposed construction.
- Existing and proposed roads, driveways, and parking areas showing number of parking spaces and traffic flow arrows.
- *Calculations of off-street parking as required by ordinance.
- Setback lines for building and parking areas.
- Ultimate right-of-way lines of adjacent street(s).
- Areas of existing and proposed structures (individual figure for each structure) and percent of lot coverage of existing and proposed structures.
- Calculation of ratio of area of additions to area of existing structures.
- Building heights, existing and proposed.
- Location and size of signs, existing and proposed.
- Location and type of outdoor lights, existing and proposed.
- *Surface material and dimensions of paved areas, existing and proposed.
- *Landscaping, existing and proposed.
- Floodplain Conservation District lines.

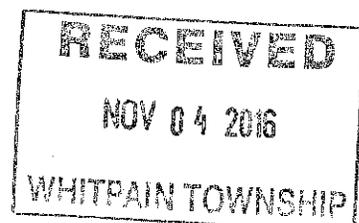
Building Plans (if applicable)

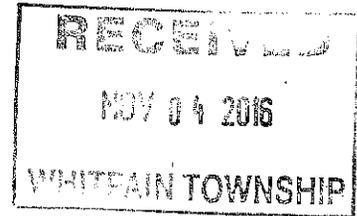
- Plans of all floors of proposed building structures at scale of not less than 1/8" = 1' showing heights, exterior materials, and signs.
- Elevations of proposed building structures at scale of not less than 1/8" = 1' with dimensions where additions are proposed.

General Information

Fifteen (15) copies plus original of each drawing are required. (Two must be darkened and shaded with colored pencil, ink, magic marker, or similar device to make drawings easy reading at the ZHB hearing from a distance of 30 feet. Fifteen (15) copies plus original of any additional information submitted with the application should also be provided, **and two (2) photographs.**

*Commercial Applications only (where applicable)





**WHITPAIN TOWNSHIP ZONING HEARING BOARD
MONTGOMERY COUNTY, PENNSYLVANIA**

RESOLUTION

**RESOLUTION PROHIBITING THE UNAUTHORIZED PRACTICE OF LAW
BEFORE THE ZONING HEARING BOARD OF WHITPAIN TOWNSHIP,
MONTGOMERY COUNTY, PENNSYLVANIA**

WHEREAS, the unauthorized practice of law is a violation of 42 Pa. C.S. § 2524, which provides that a person who commits the unauthorized practice of law commits a misdemeanor of the third degree upon a first violation and a misdemeanor of the first degree upon the second or subsequent violation;

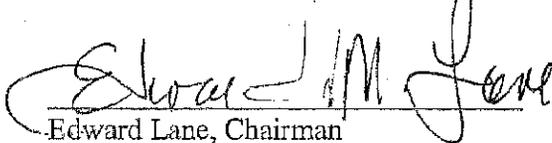
WHEREAS, the Montgomery Bar Association Unauthorized Practice of Law Committee issued an Opinion dated May 20, 2010, concluding that the appearance before a municipal quasi-judicial board by a person representing an applicant or appellant other than a duly licensed attorney at law in the Commonwealth of Pennsylvania constitutes the unauthorized practice of law; and,

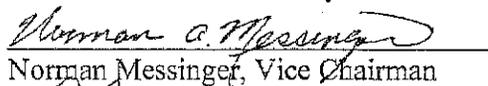
WHEREAS, the Zoning Hearing Board of Whitpain Township, Montgomery County, Pennsylvania, desires to prohibit the unauthorized practice of law in proceedings before the Board.

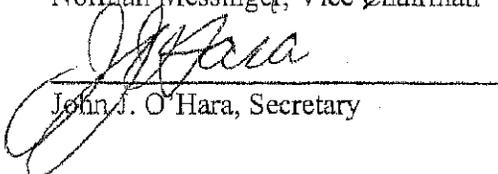
NOW, THEREFORE, BE IT RESOLVED, that the Zoning Hearing Board of Whitpain Township, Montgomery County, Pennsylvania, shall prohibit the unauthorized practice of law in any matter before it which involves the presentation of an application and/or appeal under the provisions of the Pennsylvania Municipalities Planning Code and the Zoning Ordinance of Whitpain Township, Montgomery County, Pennsylvania, by requiring that a person representing an applicant or appellant before the Board shall be a duly licensed attorney-at-law in the Commonwealth of Pennsylvania.

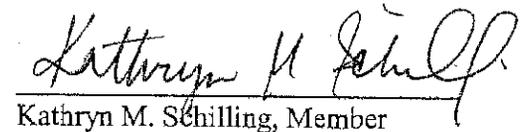
DULY PRESENTED AND ADOPTED, by the Whitpain Township Zoning Hearing Board at a public meeting held on the 15th day of July, 2010.

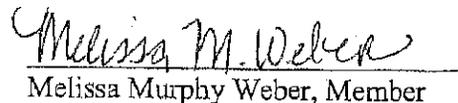
**WHITPAIN TOWNSHIP
ZONING HEARING BOARD**


Edward Lane, Chairman


Norman Messinger, Vice Chairman


John J. O'Hara, Secretary


Kathryn M. Schilling, Member


Melissa Murphy Weber, Member

**PLOT PLAN CHECKLIST WAIVER REQUEST AND RESOLUTION
ACKNOWLEDGEMENT**

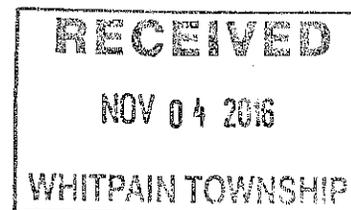
Whitpain Township Zoning Hearing Board
960 Wentz Road
Blue Bell, PA 19422

Zoning Hearing Board Members:

I hereby request permission to have the items noted on the check list with which I have not complied, waived, due to the fact that compliance will impose a hardship upon myself and the information is not relevant to my case.

I hereby acknowledge receipt of the July 15, 2010 Resolution of Zoning Hearing Board regarding the unauthorized practice of law.

Signed: Pablo D. Pileggi Natalie Pileggi
Date: 11/4/16



Proposed Additions

We are requesting approval to build a family room addition, attached two car garage with a master bedroom on top to our home.

Current lot details:

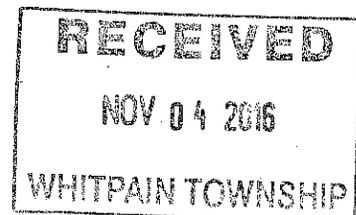
- Zoning - R-2, Residential district (1701 Arlington Road)
- Block 1, Unit 8
- Total area: 16,082 square feet
- Frontage 244.85' and depth 130'
- Other details as noted on the site plans

The layout of the site plans includes the existing layout and the proposed additions. The family room addition will be located on the left side of the drawing and the garage and master bedroom will be on the right. Also included is a copy of a professional survey of our property which displays the current and proposed setbacks along with the proposed additions and property lines.

- The family room addition will reduce the required side yard set back on the left from 25 feet to 14 feet between my adjacent neighbors Phil and Paula Severino 1713 Arlington Road
- The garage and master bedroom addition will reduce the side yard setback from the street from 50 feet to 25 feet. This part of the addition will be adjacent to Erbs Mill Road.
- The attached documents display the location for the proposed addition. Also included in the copy of our property survey is a storm water management plan to deal with the additional impervious ground cover.
- We intend to have the addition match our existing homes height, width and finishes.

Sincerely,

Paolo & Natalie Pileggi



Kelly Gracely

From: Paul Pileggi <paolo818@yahoo.com>
Sent: Wednesday, November 09, 2016 10:10 AM
To: Mike McAndrew; BuildingandZoning
Subject: Re: 1701 Arlington Road Blue Bell

Thank you Mike for your response. Please include the details below and let me know if there are any questions or concerns.

Additionally, we are requesting a variance for the front yard to accommodate the proposed new driveway and front walkway. The proposed driveway will cover approximately 1,077 square feet. The entrance of the driveway will remain the same at 10'6" and will widen to 18' at the top of the driveway closest to the garage. We are proposing to include a 10' x 15' turnaround area on the right side as displayed on the enclosed survey. The current front walkway will be extended to meet the new driveway. The walkway extension will cover 49 square feet, approximately 16' x 3'.

Paul Pileggi

From: Mike McAndrew <mmcandrew@whitpaintownship.org>
To: Paul Pileggi <paolo818@yahoo.com>; BuildingandZoning <BuildingandZoning@whitpaintownship.org>
Sent: Tuesday, November 8, 2016 12:56 PM
Subject: RE: 1701 Arlington Road Blue Bell

Paul,
Just send us the details in an e-mail and we will attach them to your application. Thanks.

Mike McAndrew

From: Paul Pileggi [mailto:paolo818@yahoo.com]
Sent: Tuesday, November 08, 2016 12:19 PM
To: BuildingandZoning <BuildingandZoning@whitpaintownship.org>
Subject: 1701 Arlington Road Blue Bell

Good afternoon,
My name is Paolo Pileggi I submitted a request for a zoning hearing in December this past Friday and I forgot to include details about the variance for the front yard where the proposed new driveway will be installed. What is the best option to get that information added to my application? Should I submit a new application or can I provide those details and have them added? This is for 1701 Arlington Road Blue Bell, PA

Thank you,
Paolo

View from left side



View from Right side (Erbs Mill Road)





FRONT ELEVATION



LEFT ELEVATION

GENERAL NOTES

No.	REVISION/ISSUE	DATE

ORIENTATION	STAMP

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
 CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

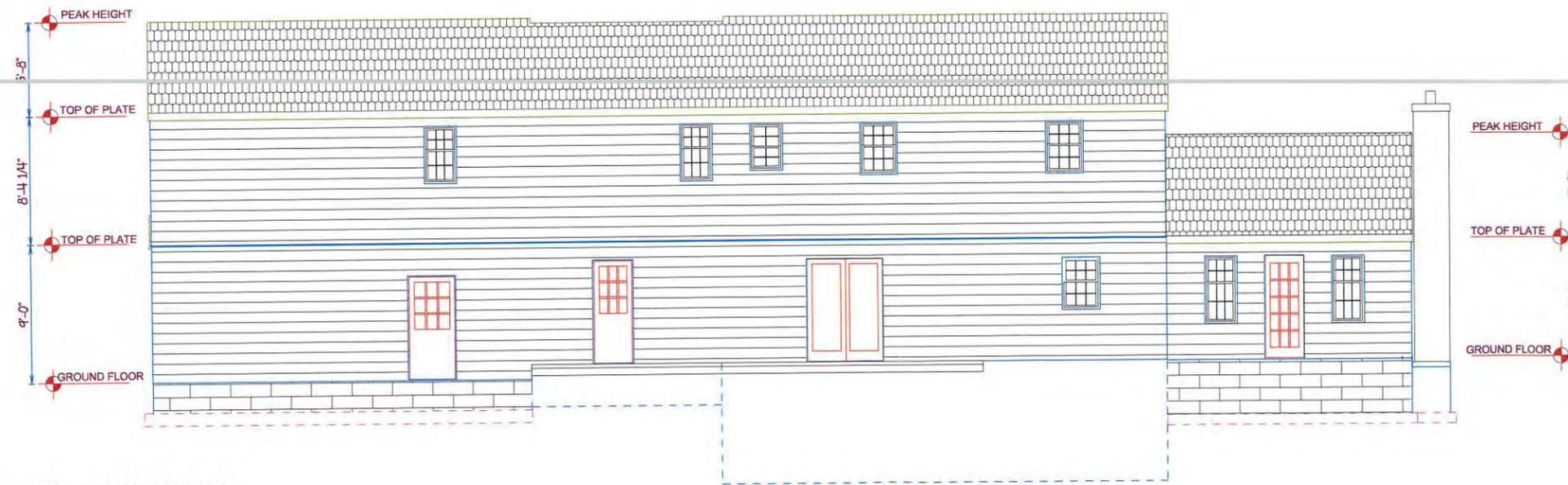
PROJECT NAME:
Pileggi Residence
 1701 Arlington Road
 Blue Bell, PA 19422

CLIENT:
Paolo & Natalie Pileggi

SHEET TITLE:
Elevations
 SCALE: NOT TO SCALE DATE: JULY 2016

	SHEET:
	A-2

RIGHT ELEVATION



REAR ELEVATION

GENERAL NOTES

No.	REVISION/ISSUE	DATE

ORIENTATION	STAMP
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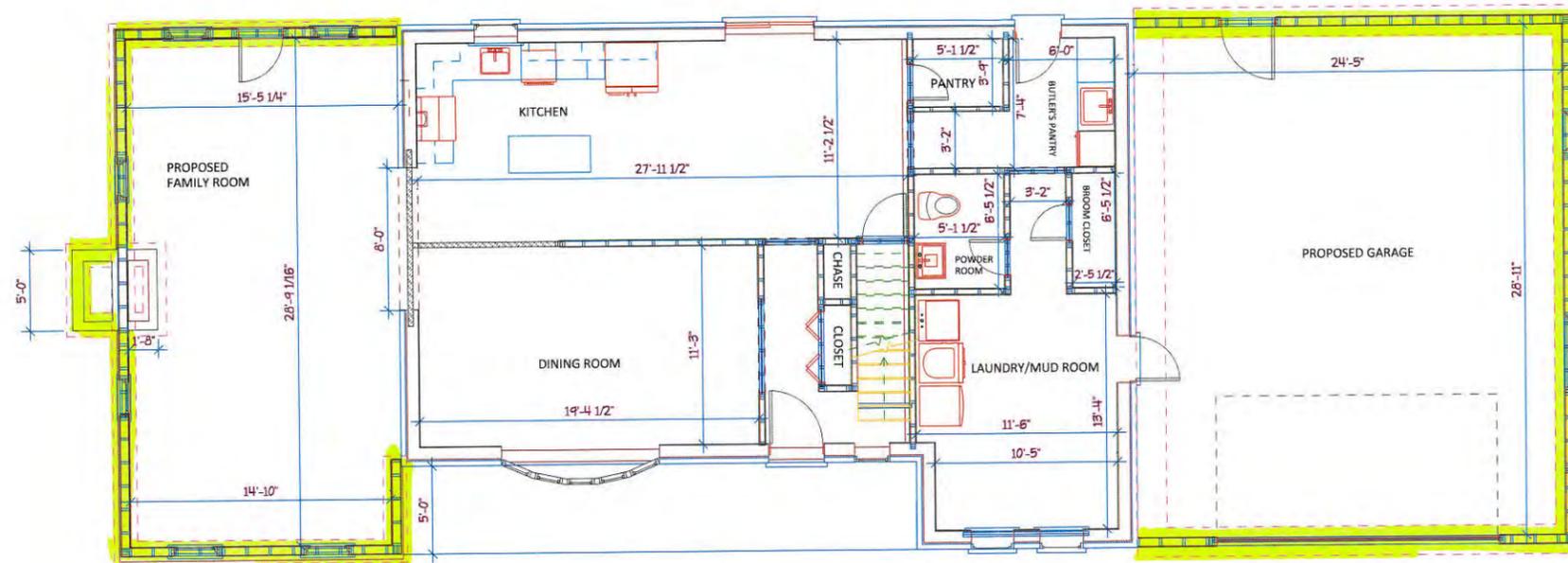
PROJECT NAME:
Pileggi Residence
 1701 Arlington Road
 Blue Bell, PA

CLIENT:
 Paolo & Natalie Pileggi

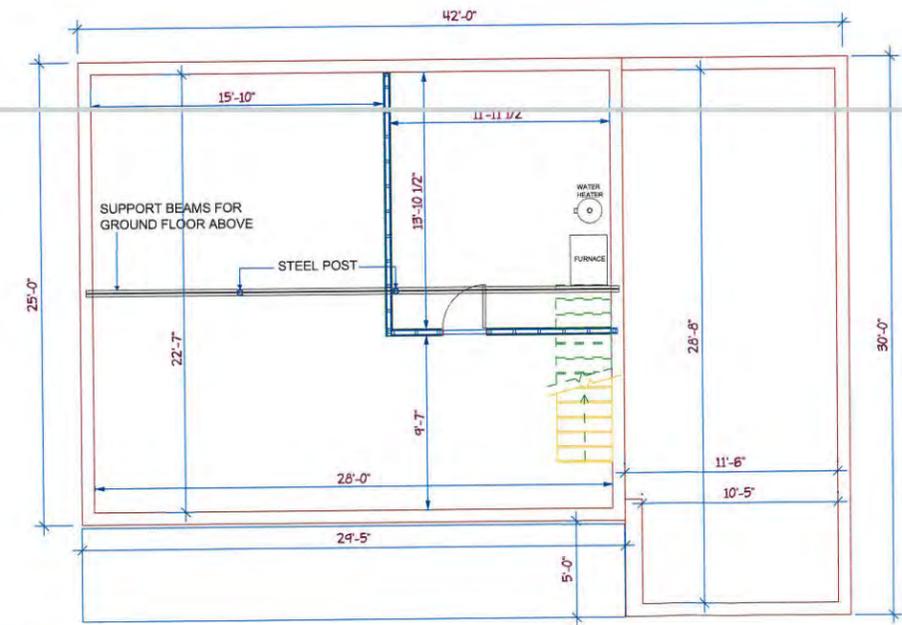
SHEET TITLE:
Elevations

SCALE: NOT TO SCALE DATE: JULY 2016

SHEET:
A-3



**GROUND FLOOR PLAN
EXISTING & PROPOSED**



**EXISTING LOWER LEVEL
FLOOR PLAN**

GENERAL NOTES

Existing home dimensions 42' x 30'
Proposed additions - Family room 16' x 30'
Two story garage - 25' x 30'

	FOUNDATION
	EARTH SECTION
	GRAVEL
	CONCRETE
	LAG BOLT
	JOIST HANGER
	ANCHOR BOLT
	SMOOTH FINISH
	BATT INSULATION
	WOOD BEAM - PSL (Parallel Strand Lumber)

No.	REVISION/ISSUE	DATE

ORIENTATION	STAMP

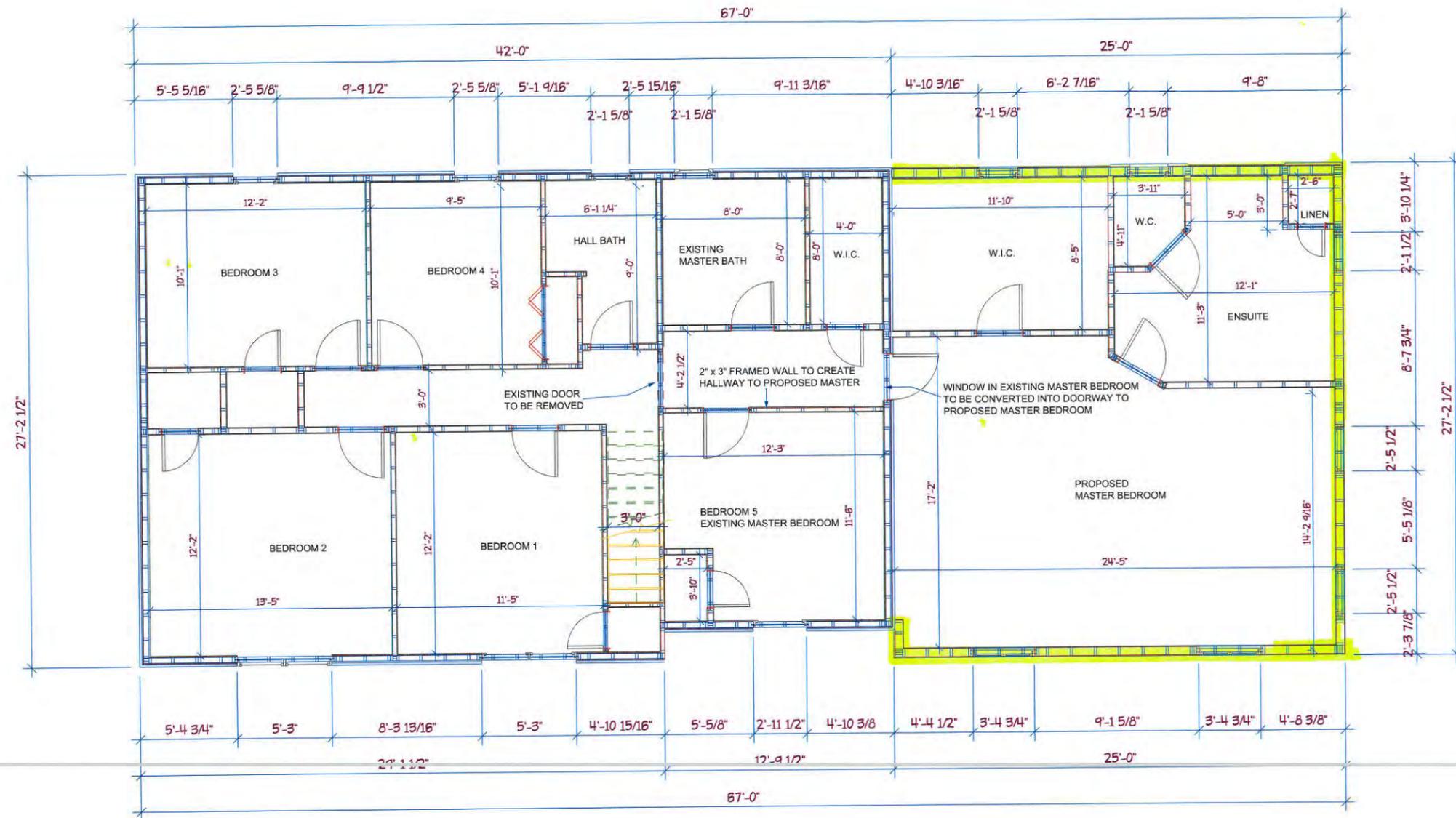
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CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

PROJECT NAME:
Pileggi Residence
1701 Arlington Road
Blue Bell, PA

CLIENT:
Paolo & Natalie Pileggi

SHEET TITLE:
GROUND FLOOR PLAN
EXISTING & PROPOSED
SCALE: 1/4" = 1'0" DATE: JULY 2016

SHEET:
A-4



**SECOND FLOOR PLAN
PROPOSED**

- Notes:**
- * 2x4 interior wall framed in existing master bedroom to create hallway leading to Proposed Master Bedroom addition
 - * Closet to be added to existing Master Bedroom 2'-5" x 3'-10"
 - * Window to be removed in existing Master Bedroom and converted into doorway to Proposed Master Bedroom
 - * Flush floor between existing and new addition.

GENERAL NOTES

No.	REVISION/ISSUE	DATE

ORIENTATION	STAMP

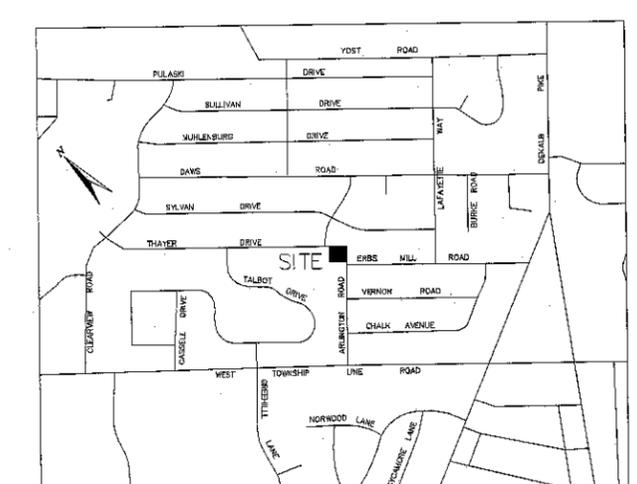
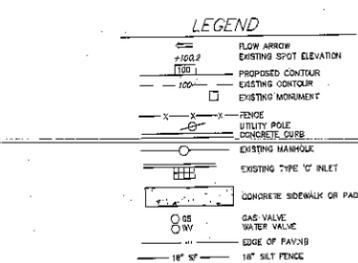
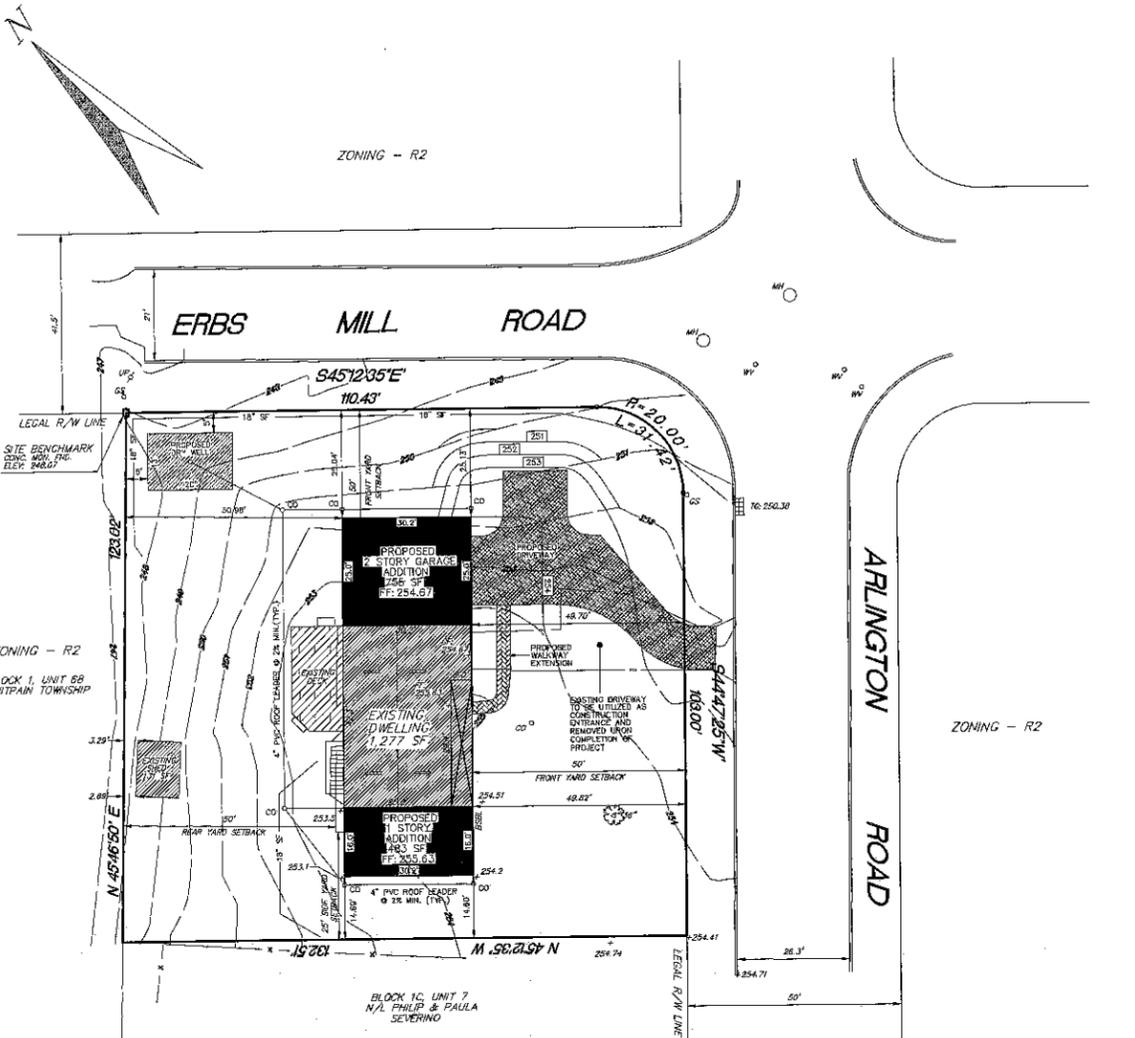
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CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

PROJECT NAME:
Pileggi Residence
1701 Arlington Road
Blue Bell, PA 19422

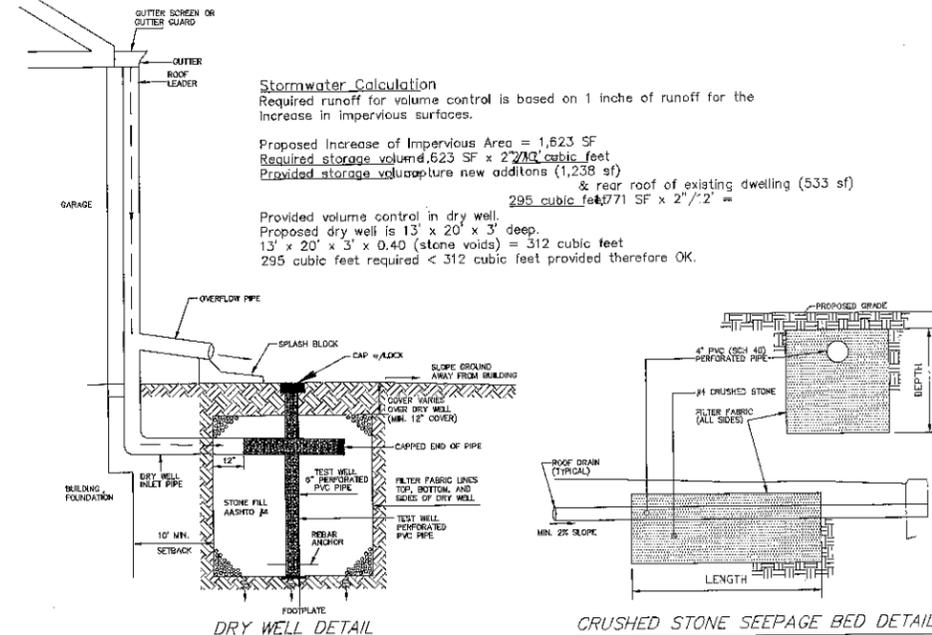
CLIENT:
Paolo & Natalie Pileggi

SHEET TITLE:
**SECOND FLOOR PLAN
Proposed**
SCALE: 1/4" = 1'-0" DATE: JULY 2016

SHEET:
A-10



LOCATION MAP
SCALE: 1" = 800'



KEY DESIGN ELEMENTS

- MAINTAIN MINIMUM DISTANCE FROM BUILDING FOUNDATION (TYPICALLY 10 FEET)
- PROVIDE ADEQUATE OVERFLOW OUTLET FOR LARGE STORMS
- DEPTH OF DRY WELL AGGREGATE SHOULD BE BETWEEN 18 AND 48 INCHES DEEP
- AT LEAST ON OBSERVATION WELL, CLEAN OUT IS RECOMMENDED
- WRAP AGGREGATE WITH NONWOVEN GEOTEXTILE
- MAXIMUM DRAIN-DOWN TIME IS 72 HOURS
- PROVIDE PRETREATMENT FOR SOME SITUATIONS

RESIDENTIAL: YES

COMMERCIAL: YES
ULTRA URBAN: YES
INDUSTRIAL: LIMITED
RECREATION: YES
HIGHWAY/ROAD: NO

STORMWATER FUNCTIONS

VOLUME REDUCTION: MEDIUM
RECHARGE: MEDIUM
PEAK RATE CONTROL: MEDIUM
WATER QUALITY: MEDIUM

POLLUTANT REMOVAL

TSS: 85%
TP: 85%
NO₃: 30%

- Construction Sequence**
1. Protect infiltration area from compaction prior to installation.
 2. If possible, install Dry Wells during later phases of site construction to prevent sedimentation and/or damage from construction activity.
 3. Install and maintain proper Erosion and Sediment Control Measures during construction per the Pennsylvania Erosion and Sediment Control Program Manual (March 2000), or latest edition.
 4. Excavate Dry Well bottom to a uniform, level uncompacted subgrade free from rocks and debris. Do NOT compact subgrade. To the greatest extent possible, excavation should be performed with the lightest practical equipment. Excavation equipment should be placed outside the limits of the Dry Well.
 5. Completely wrap Dry Well with nonwoven geotextile. (If sediment and/or debris have accumulated in Dry Well bottom, remove prior to geotextile placement.) Geotextile reils should overlap by a minimum of 24 inches within the trench. Fold back and secure excess geotextile during stone placement.
 6. Install continuously perforated pipe, observation wells, and all other Dry Well structures. Connect roof leaders to structures as indicated on plans.
 7. Place uniformly graded, clean-washed aggregate in 6-inch lifts, lightly compacting between lifts.
 8. Fold and secure nonwoven geotextile over trench, with minimum overlap of 12-inches.
 9. Seal on stabilize topsoil.
 10. Connect recharge pipe to roof leader and position over splashblock.
 11. Place filter screen that intercepts roof runoff as necessary.
 12. Do not remove Erosion and Sediment Control measures until site is fully stabilized.
- Maintenance Issues**
- As with all infiltration practices, Dry Wells require regular and effective maintenance to ensure prolonged functioning. The following represents minimum maintenance requirements for Dry Wells:
- Inspect Dry Wells at least four times a year, as well as after every storm exceeding 1 inch. Dispose of sediment, debris/trash, and any other waste material removed from a Dry Well at suitable disposal/recycling sites and in compliance with local, state, and federal waste laws.
 - Routinely evaluate the drain-down time of the Dry Well to ensure the maximum time of 72 hours is not being exceeded. If drain-down times are exceeding the maximum, drain the Dry Well via pumping out clean out perforated piping, if included. If slow drainage persists, the system may need replacing.
 - Regularly clean out gutters and ensure proper connections to facilitate the effectiveness of the system.
 - Replace filter screen that intercepts roof runoff as necessary.
 - If an intermediate sump box exists, clean it out at least once per year.

EROSION AND SEDIMENT CONTROL NOTES

- DATE PROJECT TO BEGIN: SUMMER 2016
DATE OF FINAL SUBMITTAL: SPRING 2017
- A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS SHOWN ON THE PLAN.
- TEMPORARY SEED MIXTURE**
- ALL AREAS OF SURFACE DISTURBANCE SUBJECT TO STORMWATER RUNOFF SHALL BE SEEDED AND MULCHED IMMEDIATELY. STATE REGULATIONS REQUIRE THAT UPON COMPLETION OR TEMPORARY CESSATION OF THE EARTH DISTURBANCE ACTIVITY OR ANY STAGE THEREOF, THE PROJECT SITE SHALL BE IMMEDIATELY STABILIZED, AS FOLLOWS:
- 1) PERFORM CULTURAL OPERATIONS AT POINT ANGLES TO SLOPE.
 - 2) APPLY LIMESTONE UNIFORMLY @ 100 LBS. PER 1,000 SQ. FT.
 - 3) APPLY 10-10-10 FERTILIZER @ 10 LBS. PER 1,000 SQ. FT.
 - 4) WORK IN LINE AND FERTILIZER TO A DEPTH OF 4 INCHES USING SUITABLE EQUIPMENT.
 - 5) APPLY WHEAT RYE @ 3.5 LBS. PER 1,000 SQ. FT.
 - 6) COVER RYE WITH 2 INCHES OF SOIL OR SURFACE MATERIAL. WATER MAY BE APPLIED ACCORDING TO TESTS MADE AT SITE OR, AFTER OCTOBER 15TH, SPRINKLER WATER.
 - 7) MULCH WITH SMALL GRAIN STRAW AT A RATE OF 137 LBS. PER 1,000 SQ. FT. OR 3 TONS PER ACRE.
 - 8) DURING NON-GERMINATING PERIODS (BETWEEN OCTOBER 15 AND MARCH 1) TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED BY MULCHING WITH SMALL GRAIN STRAW AT A RATE OF 137 LBS. PER 1,000 SQ. FT. OR 3 TONS PER ACRE. CONSULT THE AGRONOMY GUIDE, 2005-2006 FOR OTHER ALTERNATIVES.
- PERMANENT SURFACE MATERIALS SHALL BE PLACED AS SOON AS CONSTRUCTION OPERATIONS ALLOW, IN ACCORDANCE WITH REGULATIONS ON THE PLANS.
- THE STATEMENT BACKLOGS OR DRYWELLS ON SITE ARE PERMANENT FACILITIES & SHALL NOT BE ALTERED. THE INDIVIDUAL OWNER, THEIR SUCCESSORS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE PERMANENT MAINTENANCE (GRASS CUTTING, CLEANUP OF LEAVES, CURBS, SEDIMENT, ETC.) GRASSES & ELEVATIONS OF SAND FACILITIES & SHALL DO NOTHING TO ALTER SAME. THE INDIVIDUAL OWNER, THEIR SUCCESSORS OR ASSIGNS, SHALL BE RESPONSIBLE TO MAINTAIN THE FACILITIES & RELATED STORM SEWER PIPES IN A REASONABLY NEAT & WELL KEPT CONDITION.
- RECYCLING & DISPOSAL NOTE**
- ANY TIRE OR TIRE PARTS FROM SITE SHOULD BE TAKEN TO A SITE WITH AN APPROVED E & S PLAN.
- ANY MATERIALS THAT CAN BE RECYCLED SHOULD BE COMPLETED ACCORDING TO LOCAL, COUNTY, STATE & FEDERAL LAWS.
- THE OPERATOR SHALL REMOVE FROM THIS SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS & WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 Pa. Code 2801 et seq., 2711 et seq. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THIS SITE.

SUMMARY

1. TAX PARCEL - BLOCK 10, UNIT 8 (P/N 65-00-00064-00-5)
2. AREA TO LEGAL R/W LINE -
3. ZONING - R2, RESIDENTIAL DISTRICT

REQUIRED	PROVIDED
a. LOT AREA-12,500 SF	16,082 SF
b. LOT WIDTH-100'	244.85'
c. FRONT YARD-50'	25.04'
d. SIDE YARD-25'	14.60'
e. REAR YARD-50'	n/a
f. ACCESS BLDG. HEIGHT-10'	50.98'
g. ACCESS SETBACK-5'	8'±
h. BLDG. HEIGHT-40'	2.85'
	25'±

EXISTING BITUMINOUS COVERAGE	PROPOSED BITUMINOUS COVERAGE
DWELLING 1,277 SF	DWELLING 1,277 SF
DRIVEWAY 671 SF	WALKWAY & STAIRCASE 95 SF
WALKWAY & STAIRCASE 95 SF	SHED 131 SF
SHED 131 SF	PROPOSED ADDITIONS 1,238 SF
	PROPOSED DRIVEWAY 1,007 SF
	PROPOSED WALKWAY 49 SF
TOTAL 2,174 SF	TOTAL 3,797 SF

TOTAL INCREASE IN IMPERVIOUS COVERAGE = 1,623 SF

4. THESE DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT & ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. PENNSYLVANIA ACT 187 REQUIRES THAT CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITY, SEWERAGE & WATER LINES BEFORE COMMENCING CONSTRUCTION. (1-800-242-1776)
5. OWNERS/APPLICANTS: PAUL & NATALIE PILEGGI
1701 ARLINGTON ROAD
BLUE BELL, PA 19422
6. DATUM OF TOPOGRAPHY - U.S.G.S.
7. SOILS LIST: UrxB - Urban land-Penn complex, 0 to 8 percent slopes

- CONSTRUCTION SEQUENCE**
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE INITIATED. CLEARING & GRUBBING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.
- At least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System, Inc. at 1-800-242-1776, for buried utilities locations. At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the erosion & sediment control plan preparer, & the County Conservation District.
- STAGE 1** - Utilize existing driveway as construction entrance. Install silt fence in accordance with the details. Strip topsoil, stockpile excavated material & protect with silt fence. Immediately stabilize all exposed areas with temporary seed mixture & straw. All erosion & stabilization control must be implemented before proceeding to Stage 2.
- STAGE 2** - Upon completion of Stage 1 begin construction of additions, driveway, drywell & utilities. Inspect silt fence after every runoff event. Sediment must be removed where accumulations reach 2/3 the above ground height of the silt fence. Any sediment on roadway will be cleared immediately. Stage 2 must be implemented before proceeding to Stage 3.
- STAGE 3** - Upon completion of Stage 2, complete construction of additions, driveway, driveway & final grades as per the approved plans. Distribute topsoil from the storage area & stabilize disturbed areas in accordance with the seeding & mulching guidelines found on the plans. After final site stabilization has been achieved, temporary erosion & sediment BMP controls must be removed. Areas disturbed during removal of the BMP's must be stabilized immediately. Immediately after earth disturbance activities cease, the operator shall stabilize any activities disturbed by the activities, during non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade & which will be redistributed within one year must be stabilized in accordance with the temporary vegetation stabilization specifications. Disturbed areas which are of finished grade or which will not be redistributed within one year must be stabilized in accordance with the permanent vegetative stabilization specifications. An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other non-vegetative cover with a density sufficient to resist accelerated surface erosion & subsurface characteristics sufficient to resist sliding & other movements.
- TOTAL AREA TO BE DISTURBED IS APPROXIMATELY =

ACT 187 USERS LIST

USER	ADDRESS	TELEPHONE
1. TOWNSHIP OF WHITPAIN	950 WENTZ ROAD BLUE BELL, PA 19422	610-277-2400 RON CIONE rcione@whitpaitownship.org
2. NORTH WALES WATER AUTHORITY	200 W WALNUT STREET PO BOX 1339 NORTH WALES, PA 19454	JOSEPH MURPHY jmurphy@nwwater.com
3. COMCAST CABLEVISION	1 APOLLO ROAD PLYMOUTH MEETING, PA 19462	TOM DEMSEY
4. COMCAST CABLEVISION	4400 WAYNE AVENUE PHILADELPHIA, PA 19140	BOB HARVEY bob_harvey@cable.comcast.com
5. USDC	450 S HENDERSON RD., SUITE B KING OF BRUSSARD, PA 19408	GAVIN HEWITT gavinhewitt@usdcinc.com
6. XO COMMUNICATIONS	1220 BROADCASTING ROAD WYOMING, PA 19380	SCOTT DREILING scott.dreiling@xoc.com
7. TRANSCONTINENTAL GAS/ WILLIAMS GAS	60 BACON HILL ROAD FRAZER, PA 19335	LILY BUCKWALTER lily_buckwalter@williams.com
8. VERIZON PENNSYLVANIA LLC	180 SHEREE BLVD. STE. 2100 EXTON, PA 19341	KELLY BLOUNT kelly.blount@verizon.com

GENERAL SEEDING & MULCH GUIDELINE PERMANENT SEED MIXTURE-LAWN AREAS

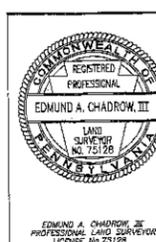
PREPARATION BY WEIGHT	COMMON WEIGHT	PURITY	GERMINATION
RYE	40%	95%	80%
RED FESCUE	40%	95%	80%
PERENNIAL RYEGRASS	10%	95%	80%

1. MIX MAY BE MODIFIED IN ACCORDANCE WITH BEST LOCAL PRACTICE.
2. GRASS SEED SHALL BE APPLIED TO ALL AREAS NOT OCCUPIED BY BUILDINGS, PAVING OR OTHER PLANT MATERIAL.
3. SEEDS SHALL BE PLACED ON A PREPARED BED OF 2 INCHES OF TOPSOIL.
4. MULCHING SHALL BE DONE TO A DEPTH OF 1/2 INCH. 3.5 LBS. OF NITROGEN, 4-8 LBS. OF PHOSPHORUS, AND 4-8 LBS. OF POTASSIUM PER 1,000 SQ. FT. THESE RATES CAN BE MODIFIED TO SOIL TEST RECOMMENDATIONS.
5. STRAW MULCH SHALL BE SPREAD WITH GRASS SEEDS AND AT THE RATE OF 3 TONS/ACRE TO PREVENT EROSION AND SEED WASH-OUT.
6. EMULSIFIED ASPHALT TO BE USED TO "SEAL" STRAW IN PLACE ON SLOPES 2 TO 1 OR STEEPER.

TEMPORARY SEED MIXTURE ALTERNATIVES

PREPARATION BY WEIGHT	COMMON WEIGHT	SEEDING RATE LBS./1,000 SQ. FT.	RECOMMENDED SEEDING DATES
1. 100% ANNUAL RYEGRASS	1	1	MARCH 1 - JUNE 15
2. 100% FIELD BROMERGRASS	1	1	MARCH 1 - JUNE 15
3. 100% SPRING OATS	2.5	2.5	MARCH 1 - JUNE 15
4. 100% BROWN GRASS	1	1	MAY 15 - AUGUST 15
5. 100% WINTER RYE	3.5	3.5	AUGUST 15 - OCTOBER 15

FOR ADDITIONAL SEEDING INFORMATION CONSULT "THE AGRONOMY GUIDE" BY PENNSYLVANIA STATE UNIVERSITY.



PLOT PLAN
LOT No. 84, WHITPAIN MANOR SUBDIVISION No. 1
WHITPAIN TOWNSHIP, MONTGOMERY COUNTY, PENNSYLVANIA
MADE FOR
PAUL & NATALIE PILEGGI

SCALE: 1" = 20' 0 20 40 60 6 JULY 2016

EASTERN/CHADROW ASSOCIATES, INC.
333 E. STREET ROAD * WARMINGTOWN, PA 18974 * (215) 673-8671 FAX (215) 678-6765
EST. 1957